

BULB

ESTATE AGENT

Intentionally Better



61 Mason Way, Birmingham, B15 2GE

Offers over £260,000

We are pleased to list another beautifully presented TWO BEDROOM, TWO BATHROOM apartment in the well desired Mason Way apartment building. Considered to be one of the most attractive buildings in Park Central. A must view property for a buyer who is in search for a modern apartment for a great price OIEO £260,000

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Description

We bring to the market another stunning two bedroom, two bathroom apartment in Park Central Birmingham which offers a great living space, TWO DOUBLE bedrooms, one with a fully tiled and modern en-suite.

The property has been decorated to a nice standard and feels homely, perfect for a buyer who is looking to set up a new home in the city. Both rooms have fitted wardrobes and the apartment features built in appliances and a modern kitchen.

With it's central location you are minutes away from major transportation links and city attractions, the property benefits from having an allocated parking space, and a balcony which has amazing and views of the city skyline and park;

Floor to ceiling double glazed windows, with the vendors living outside of the city this apartment is really well kept and offers a nearly new feel to its excellent finish. Trust us when we say, it is worth calling BULB Estates Agents to arrange a viewing.

Leasehold details:

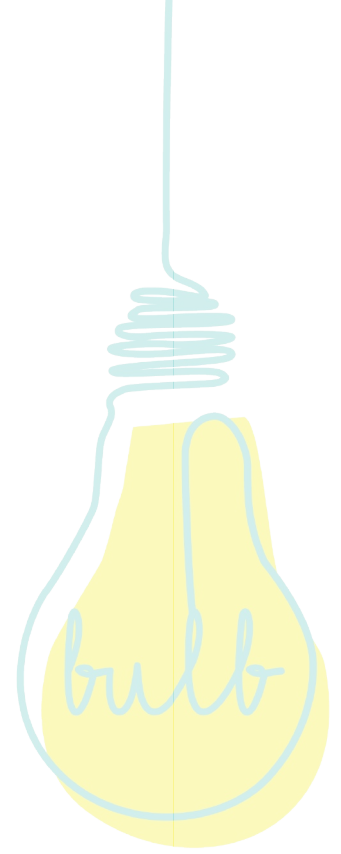
Service Charge: £1945.00 per year (TBC)

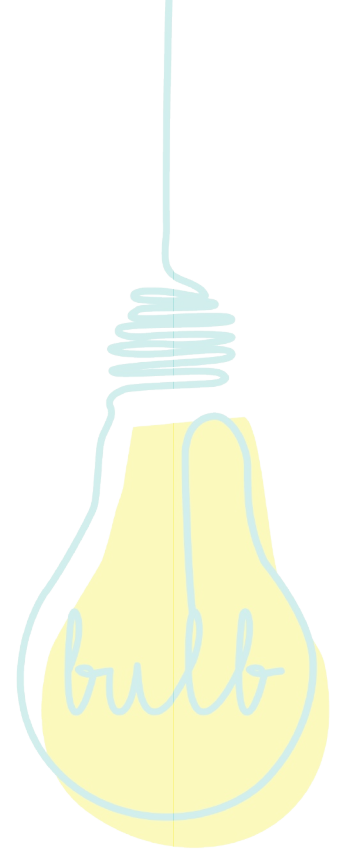
Ground Rent: £250.00 per year

Years Remaining on Lease: 144 (TBC)

Please note: The service charges and ground rent are subject to changes and accuracy of figures will be confirmed through your solicitors. This property has NO ONWARD CHAIN and ALL Viewers must provide proof of affordability.

For further information please contact Bulb Estate Agents on 01902.283.109 or email your interest to hello@bulb.team

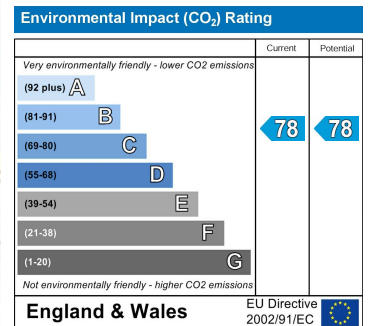
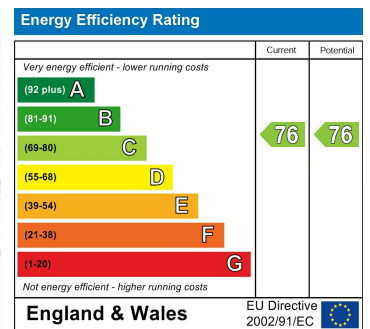




Area Map



Energy Efficiency Graph



These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.