



6 Romilly Road, Rhoose

Fixed Price **£149,950**



6 Romilly Road

Rhoose, Barry

Council Tax band: B

Tenure: Leasehold

EPC Energy Efficiency Rating: C

EPC Environmental Impact Rating:

- SPACIOUS FIRST FLOOR APARTMENT
- LOUNGE, 2 DOUBLE BEDROOMS
- BATHROOM AND SEPARATE STUDY
- MODERN KITCHEN
- UPVC DG & GCH; NO ONWARD CHAIN
- PRIVATE GARDEN; PARKING POTENTIAL





Hallway

Enter via a uPVC door with glass panel. Side aspect uPVC window. Laminate floor. Door to spacious storage cupboard. Stairs to the first floor.

First Floor

Landing / Upper Hall

Side aspect uPVC window. Glazed panels and doorway leading into the hallway.

Hallway

Laminate flooring. Radiator. Doors lead off to the study, lounge, kitchen, bathroom, 2 bedrooms and double doors access the airing cupboard which houses the combi boiler and offers shelved storage. Loft hatch to a mostly boarded loft albeit with insulation on the top of it.

Living Room

14' 4" x 9' 2" (4.37m x 2.79m)

A spacious lounge with a continuation of the laminate flooring. Radiator and rear uPVC window.

Kitchen

10' 3" x 8' 7" (3.12m x 2.61m)

Laminate flooring. Matching wall and base units in a modern design. Stainless steel sink with mixer tap over. Integral gas hob with extractor fan over and electric under counter oven. Space for washing machine. Tiled splash backs. Side uPVC window. Wooden external door with glass panel leading to a large balcony.

Study

Laminate flooring. Front aspect window. Wall mounted electric fuse box and pay meter. Over stairs shelf.





Bathroom

6' 0" x 5' 5" (1.83m x 1.65m)

A white suite comprising close coupled WC, wall mounted wash hand-basin, bath with electric shower over and over bath screen. Side opaque uPVC window.

Bedroom One

14' 4" x 9' 2" (4.37m x 2.79m)

Front uPVC window and radiator.

Bedroom Two

11' 0" x 9' 8" (3.35m x 2.94m)

Front uPVC window and radiator.

Front Garden

Paved area ideal for parking (subject to planning being approved to drop pavement kerb).

Rear Garden

Enclosed by timber fencing and generally in need of cultivation.

Energy Efficiency Rating

	Current	Potential
Very energy efficient - lower running costs		
(92+) A		
(81-91) B		
(69-80) C	77	79
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England, Scotland & Wales	EU Directive 2002/91/EC	

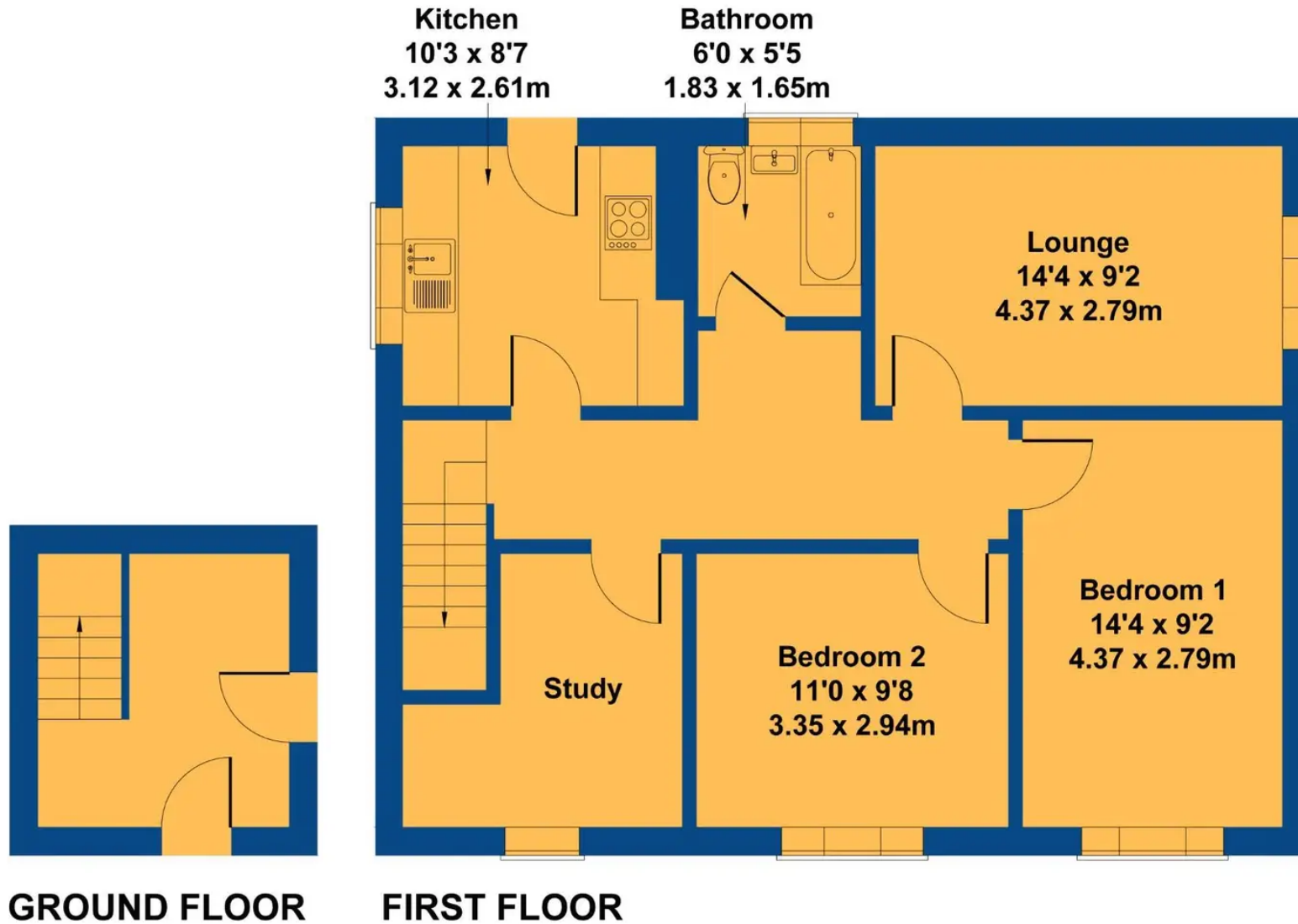


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Approximate Gross Internal Area

743 sq ft - 69 sq m

(Excluding Ground Floor)



Not to Scale. Produced by The Plan Portal 2023
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Chris Davies Estate Agents

Chris Davies Estate Agents, 29 Fontygary Road - CF62 3DS

01446 711900 • rhouse@chris-davies.co.uk • www.chris-davies.co.uk/

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