



VERITY
FREARSON

14 CHADWICK PARK, KNARESBOROUGH, HG5 8QD

GUIDE PRICE £695,000

14 CHADWICK PARK,

Knaresborough, HG5 8QD

A beautifully presented and spacious four-bedroom property forming part of this select development on the outskirts of Knaresborough.

The accommodation is appointed to a very high standard, having been recently redecorated with Farrow and Ball colours throughout, and provides spacious living space with two reception rooms plus a dining kitchen, utility and cloak room. On the first floor there are four double bedrooms, two of which have an ensuite plus a house bathroom. The property has the advantage of a generous drive providing ample off street parking, a carport, single garage and use of the visitors' parking spaces nearby. The property has an attractive landscaped front and rear gardens.

Chadwick Park is a select residential development on the southern outskirts of Knaresborough, approximately one mile from the town centre. The property is ideally placed for easy access to the southern bypass, which gives access to both Leeds, York and the A1(M). Harrogate town centre is also approximately only four miles distant. Offered for sale with no onward chain.



2 Reception Rooms · Dining Kitchen · Utility · Cloakroom

4 Double Bedrooms · 2 En-Suites · Bathroom

Off-Road Parking · Carport · Garage · Attractive Gardens · Visitors' Parking Area







ACCOMMODATION

GROUND FLOOR RECEPTION HALL

A spacious reception hall with solid oak floor, central heating radiator and understairs storage cupboard.

CLOAKROOM

With a white low flush WC and wash basin. Window to front with wooden shutters and central heating radiator. Tiled floor.

SITTING ROOM

A spacious reception room with windows to front and rear with wooden shutters and central heating radiators. Stone fireplace with multi-fuel burning stove. Solid oak floor.

DINING KITCHEN

A stunning Clarity Arts kitchen fitted with a range of wall and base units with granite worktops and inset sink unit. Fitted gas AGA. Integrated fridge and dishwasher. Spacious dining area. Windows to rear and glazed doors lead to garden.

FAMILY ROOM

A further reception room with windows to front with wooden shutters and central heating radiator. Fitted Clarity Arts furniture including desk and shelving. Tiled floor.

UTILITY ROOM

With fitted Clarity Arts wall and base units with granite worktop and inset sink unit. Space and plumbing for washing machine and a separate tumble drier. Space for fridge/freezer. Window to rear and central heating radiator. Tiled floor.

FIRST FLOOR

BEDROOM 1

With window to front with wooden shutters and central heating radiator. Fitted wardrobes. Solid oak floor.

EN-SUITE SHOWER ROOM

Fitted with a suite comprising low flush WC, wash basin and shower cubicle. Tiled walls and floor. Central heating radiator.

BEDROOM 2

With window to rear with wooden shutters and central heating radiator. Fitted wardrobes. Solid oak floor.

EN-SUITE BAYTROOM

Fitted with a suite comprising low flush WC, washbasin and panelled bath with shower above. Tiled walls and floor. Central heating radiator.

BEDROOM 3

With window to front with wooden shutters and central heating radiator. Fitted wardrobes. Solid oak floor.

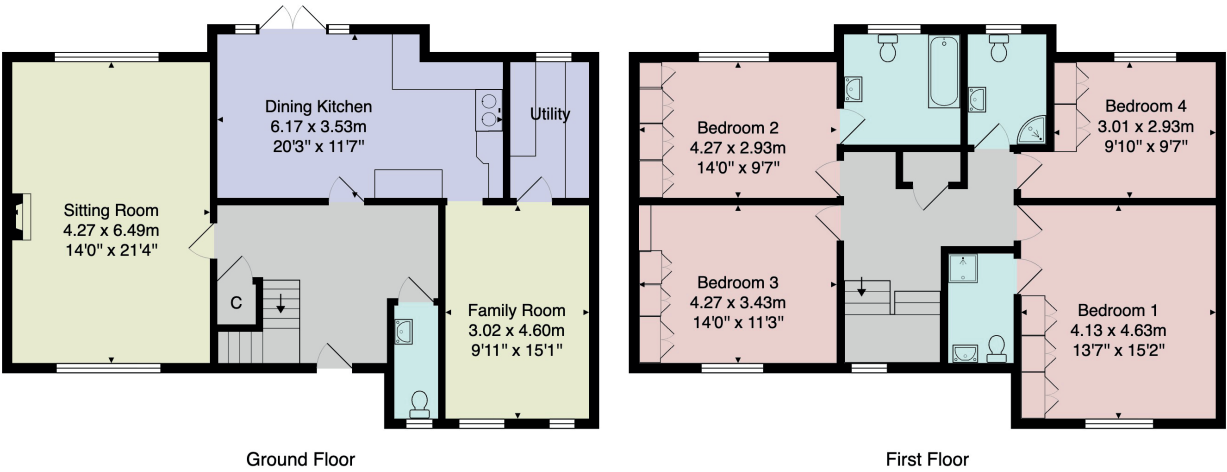
BEDROOM 4

With window to rear with wooden shutters and central heating radiator. Fitted wardrobes. Solid oak floor.

SHOWER ROOM

Fitted with a white suite comprising low flush WC, wash basin and shower cubicle. Window to rear and central heating radiator. Tiled walls and floor.

FLOOR PLAN



Total Area: 177.2 m² ... 1907 ft²
All measurements are approximate and for display purposes only.
No liability is accepted by either the agency or Box Property Solutions Ltd as to the exact measurements of the rooms.
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Outside

A driveway provides ample off-street parking with carport and leads to a garage with light and power. To the rear of the garage is a timber home office with light and power. There is an attractive rear garden with paved seating area and well-stocked borders. To the front is an attractive landscaped gravelled and box hedged garden.

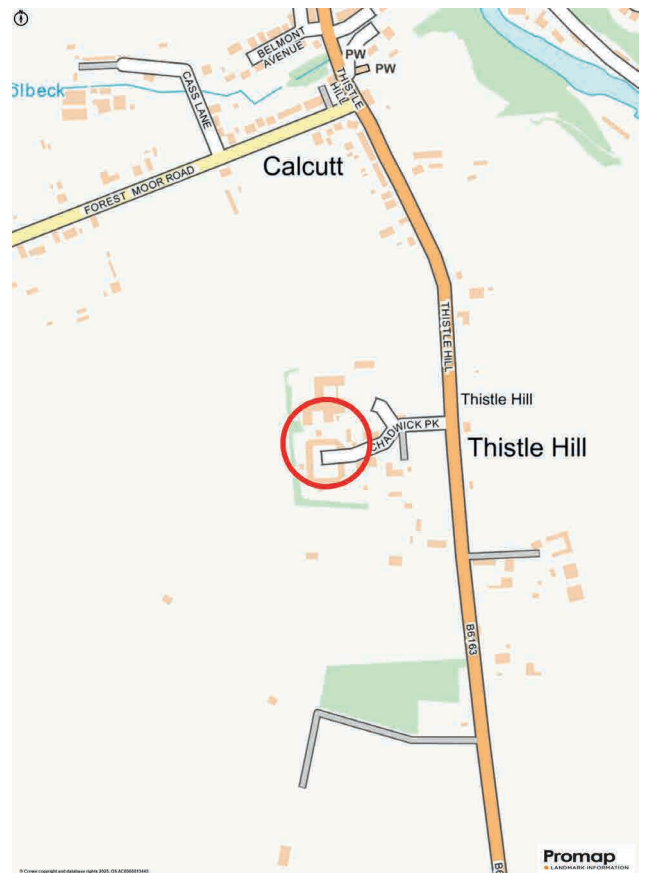
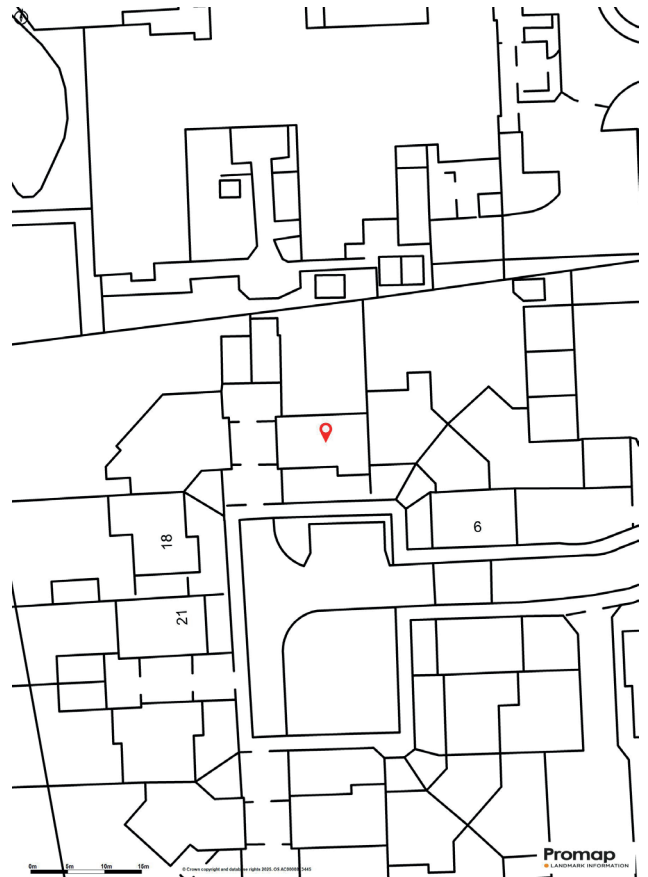
Services

All mains services connected.

Tenure

Freehold

Council Tax Band - F



Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92+) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	
www.epc4u.com		

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