



Canon Hudson Close, Willenhall
Asking Price £144,950

complete 
ESTATE AGENTS

Canon Hudson Close, Willenhall, Coventry

This three bedroom semi detached property is available to purchase with no upward chain.

The property is located on a quiet Cul-de-sac in the south of the city within close proximity to Jaguar Land Rover, the A45 and A46. Local schools and shopping amenities are within walking distance.

The property comprises of a large living room at the front of the property with a kitchen breakfast room located to the rear. The garden provides access to the properties off road parking.

On the first floor there are two double and a single bedroom as well as a family bathroom.

This property would make an ideal first time purchase or investment.

Lounge 11'6" x 16'46" (3.51m x 4.88m)

Located at the front of the property the double glazed window has views of the garden, The flooring has a neutral colored carpet. The room has a gas central heated radiator and T.V and telephone sockets.

Kitchen Dinner 14'6" x 9'4" (4.42m x 2.84m)

The kitchen has tiled flooring, a range of wall and base units with integrated oven and hob with an extractor fan overhead. Double sliding doors lead into the rear garden.

Bedroom One 14'6" x 9'8" (4.42m x 2.95m)

Located at the front of the property, the bedroom has carpet flooring, gas central heated radiator and a double glazed window with views to the front of the property.



Bedroom Two 9'6" x 8'10" (2.90m x 2.69m)

Located at the rear of the property the rear bedroom has carpet flooring and a double glazed window unit with views over the rear garden.

Bedroom Three 6'5 x 6'6 (1.96m x 1.98m)

This bedroom is also located at the rear of the property. The flooring is carpet and a double glazed window unit provides views over the rear garden.

Bathroom 8'6" x 6'4" (2.59m x 1.93m)

The bathroom has cushion flooring and a neutral colored bathroom suite including a toilet, basin and bath with a shower overhead.

Viewing

Strictly by appointment only via Complete Estate Agents

Local Authority

Coventry City Council

Tenure

Leasehold

Market Appraisal

If you are considering selling your property, we would be delighted to give you a free no obligation market appraisal. Our experience, knowledge and comprehensive marketing with local and internet advertising will get your property seen in all the right places. Please contact us today to arrange your property appraisal.

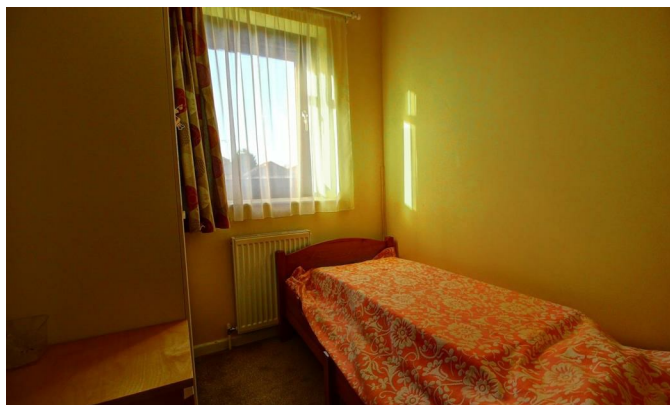
Mortgage Advice

Complete Estate Agents work in partnership with C&W Financial services we can offer professional mortgage advice, from independent mortgage advisors they will help to source a product that will suit your budget and needs from virtually the whole of the mortgage market.

Conveyancing Services

Our solicitors work on a no sale, no fee basis. They work longer hours than the conventional solicitor and are available at weekends. Please contact us for more information on our conveyancing service.

Location



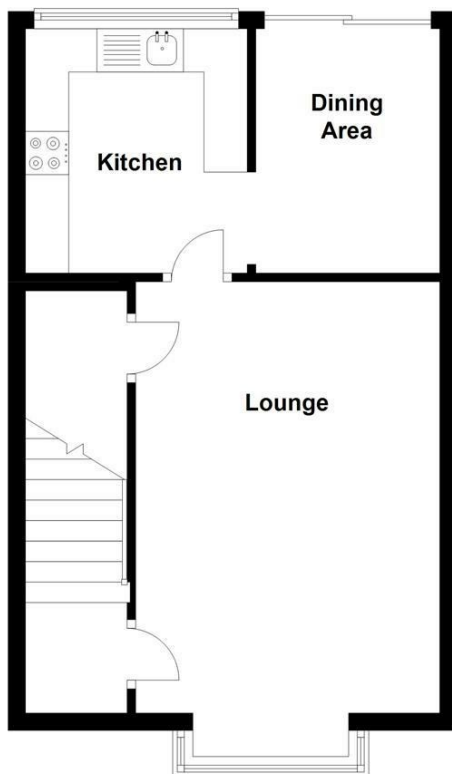
Coventry is a cathedral city in the heart of England. Surrounded by beautiful Warwickshire countryside and part of the West Midlands region, Coventry is home to over 300,000 people making it the 11th biggest city in the UK. Coventry's history lies in manufacturing, with British cycle and motor history very much rooted in the city. Coventry was also famed for its ribbon industry and watch/clock



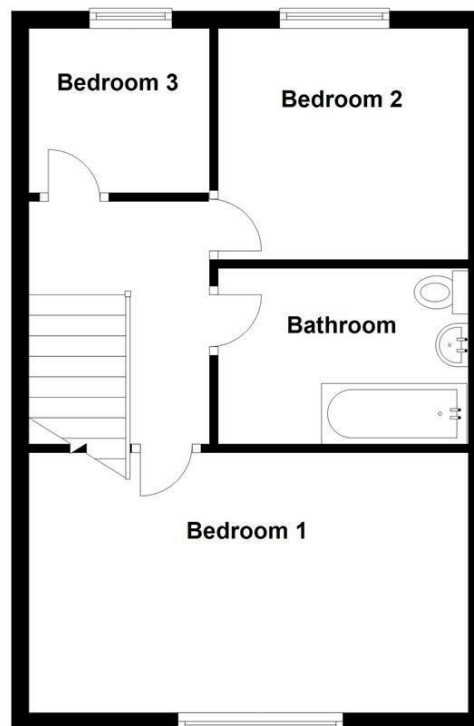
making, although innovative technologies, retail, tourism and leisure now complement the more traditional areas of manufacturing. The city has two universities – the city centre-based Coventry University and the University of Warwick on the southern outskirts. Coventry is well connected by rail, with a direct service from Coventry to London Euston taking just 59 minutes. The M6, the M69 and the A45 are the city's main road links.



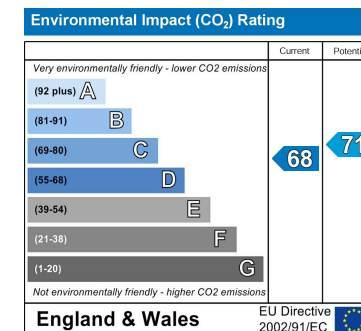
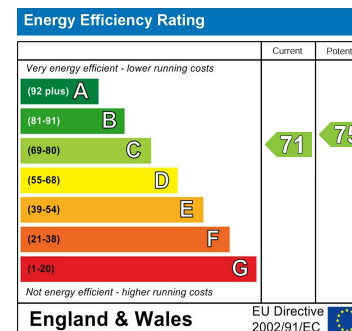
Ground Floor



First Floor



This floorplan is to be used as a guide only and not be taken as fact or to scale. The property may be different to actual diagram shown and square footage may differ.
Plan produced using PlanUp.



Misrepresentation Act 1967 - These particulars are believed to be correct but their accuracy is not guaranteed nor do they form part of any contract.

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