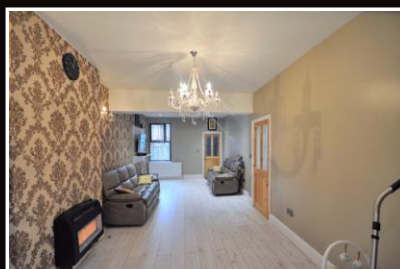




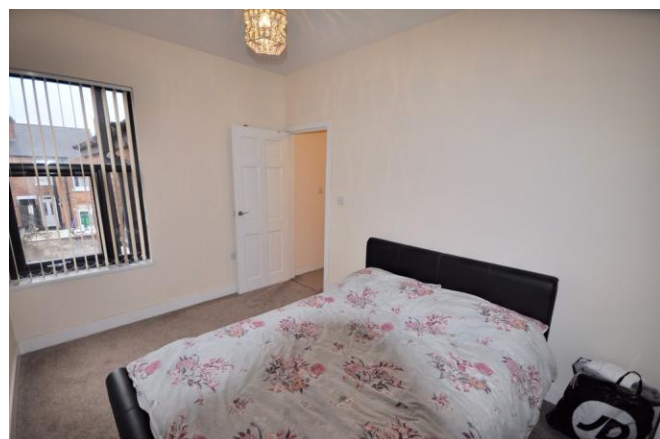
Fairfax Road, Derby, DE23 6RX
£155,000 Freehold



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Fairfax Road
Derby
DE23 6RX
£155,000 Freehold



An immaculately presented three bed house that has undergone full renovation to a high standard. Briefly comprising of entrance hall, spacious lounge/diner, kitchen, three bedrooms, bedroom and enclosed garden to the rear. Ideal for the city centre, local schools and amenities and great access to road links.



ENTRANCE HALL

Entrance through newly fitted door, wooden laminate to floor, gas central heating radiator and access to lounge/diner and kitchen.

LOUNGE/DINER

26' 10" x 11' 1" (8.18m x 3.38m) UPVC double glazed bay window to front and double glazed window to rear. Wooden laminate to floor, two gas central heating radiators and wall mounted fire.

KITCHEN

14' 5" x 9' 10" (4.39m x 3m) UPVC double glazed window to rear and side elevation with door to rear garden. Tiled flooring and splash back accompany the recently installed kitchen. Having a range of wall and base units, integrated fridge/freezer, oven and hob and plumbing for washing machine. Gas central heating radiator.

LANDING

Carpet to floor, gas central heating radiator and access to loft.

BEDROOM ONE

11' 10" x 14' 0" (3.61m x 4.27m) UPVC double glazed windows to front elevation, carpet to floor, gas central heating radiator and fitted wardrobes.

BEDROOM TWO

11' 10" x 8' 6" (3.61m x 2.59m) UPVC double glazed window to rear elevation, carpet to floor and gas central heating radiator.

BEDROOM THREE

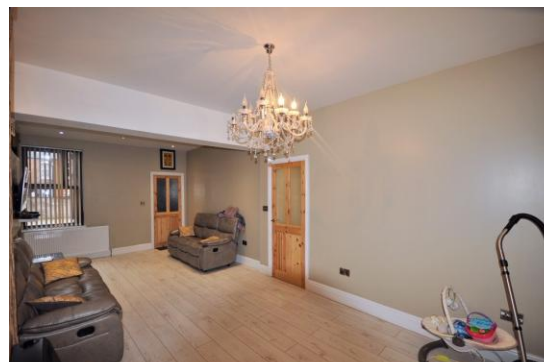
11' 8" x 9' 9" (3.56m x 2.97m) UPVC double glazed window to rear elevation, carpet to floor and gas central heating radiator.

BATHROOM

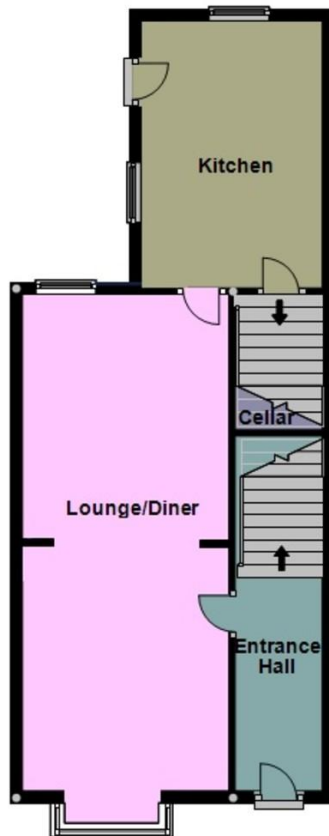
5' 10" x 6' 5" (1.78m x 1.96m) UPVC double glazed window to side elevation, tiled flooring and splash back tiles, heated towel rail, extractor fan and three piece suite comprising of panelled bath with shower over, wash hand basin and w/c.

OUTSIDE

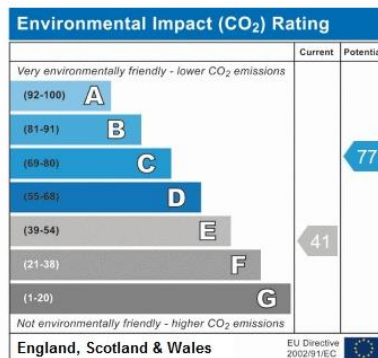
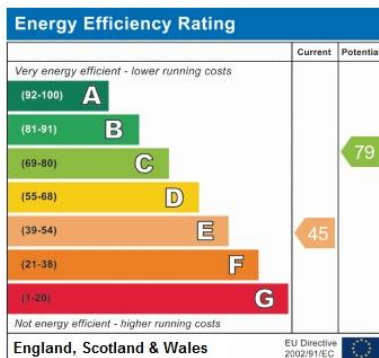
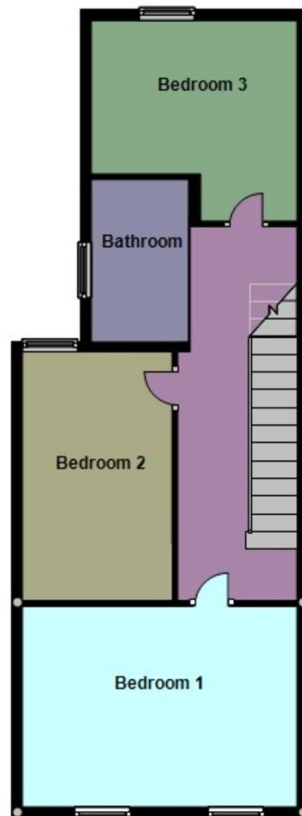
To the rear there is an enclosed good size patio area with brick out building. Access via secure side gate.



Ground Floor



First Floor



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chellaston@acquireproperties.co.uk

Special Note: For clarification, we wish to inform prospective purchasers that we have prepared these sale particulars as a general guide. We have not carried out a detailed survey, nor tested the service appliances and specific fittings. Room sizes should not be relied upon for carpets and furnishings. Whilst these particulars are believed to be correct they are not guaranteed by the vendor or the vendor's agent 'acquire properties' and neither does any person have authority to make or give any representation or warranty on their behalf. Prospective purchasers must satisfy themselves by inspection or otherwise as to the correctness of each statement contained in these particulars. All measurements are approximate and the particulars do not constitute, or form part of, an offer or a contract.