

bramleys

For Sale

**5 CLIFFE END ROAD
QUARMBY
HUDDERSFIELD
HD3 4FF**

RESIDENTIAL SALES

£150,000



- **3 BEDROOM SEMI DETACHED**
- **IDEAL FAMILY HOME**
- **MODERN FITTED KITCHEN AND BATHROOM**
- **GARDENS TO THE FRONT AND REAR**
- **LOCAL SCHOOLING NEARBY**
- **ACCESS TO AMENITIES IN LINDLEY AND MILNSBRIDGE**



This stone built 3 bedroom semi detached property is situated in this popular residential area of Quarmby, approximately 2 miles from Huddersfield town centre. The property has gas fired central heating, uPVC double glazing and would make an ideal purchase for the first time buyer. Access can be gained to the M62 at both J.23 and J.24. Energy Rating: D

The accommodation briefly comprises:-

GROUND FLOOR:

Enter the property through an external door into:-

Side Entrance Hall

Lounge

4.57m x 3.45m (15'0" x 11'4")

Having a uPVC double glazed bow window to the front, stained and stripped floor boards, central heating radiator, ceiling coving and a gas and coal effect living flame gas fire set on to a marble effect hearth and backdrop.



Kitchen

3.35m x 3.05m (11'0" x 10'0")

Having a range of matching wall and base units with laminated working surfaces. There is a 4 ring electric hob with split level oven and grill, inset stainless steel sink unit with mixer taps and side drainer, wood effect laminate flooring, uPVC double glazed French doors leading directly into the rear gardens.



Utility Room

2.51m x 1.35m (8'3" x 4'5")

Having wall and base units, inset stainless steel sink unit and plumbing for an automatic washing machine.



FIRST FLOOR:

Landing

There is electrics in the loft space which is accessed off the landing.

Bedroom 1

4.57m x 3.48m (15'0" x 11'5")

Having a central heating radiator and uPVC double glazed window.



Bedroom 2

2.67m x 2.54m (8'9" x 8'4")

Having a central heating radiator, uPVC double glazed window and wood effect laminate flooring.



Bedroom 3

2.62m x 1.78m (8'7" x 5'10")

Having a uPVC double glazed window.

Bathroom

Furnished with a 3 piece white suite incorporating low flush WC, pedestal wash basin and panelled bath. There is a uPVC double glazed window and part tiled walls.



OUTSIDE:

There are garden areas to the front and rear. There is also electric power points.



COUNCIL TAX BAND:

B

BOUNDARIES & OWNERSHIPS:

The boundaries and ownerships have not been checked on the title deeds for any discrepancies or rights of way. All prospective purchasers should make their own enquiries before proceeding to exchange of contracts.

VIEWING:

Contact the agents.

MORTGAGES:

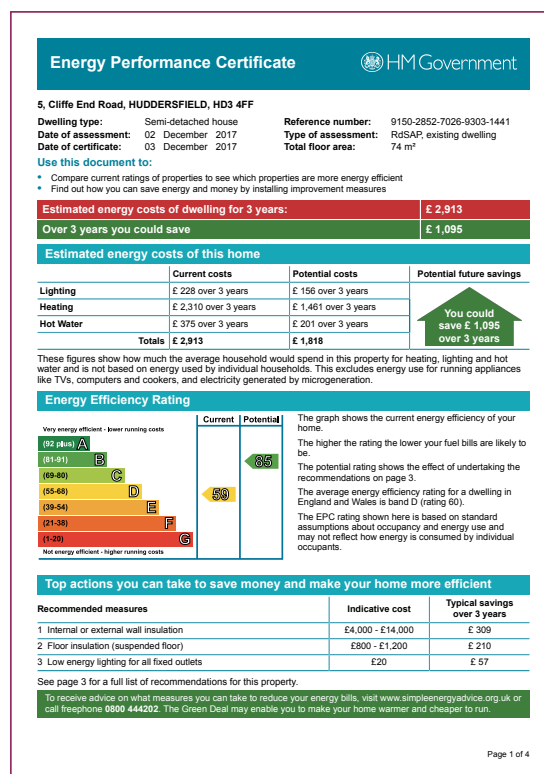
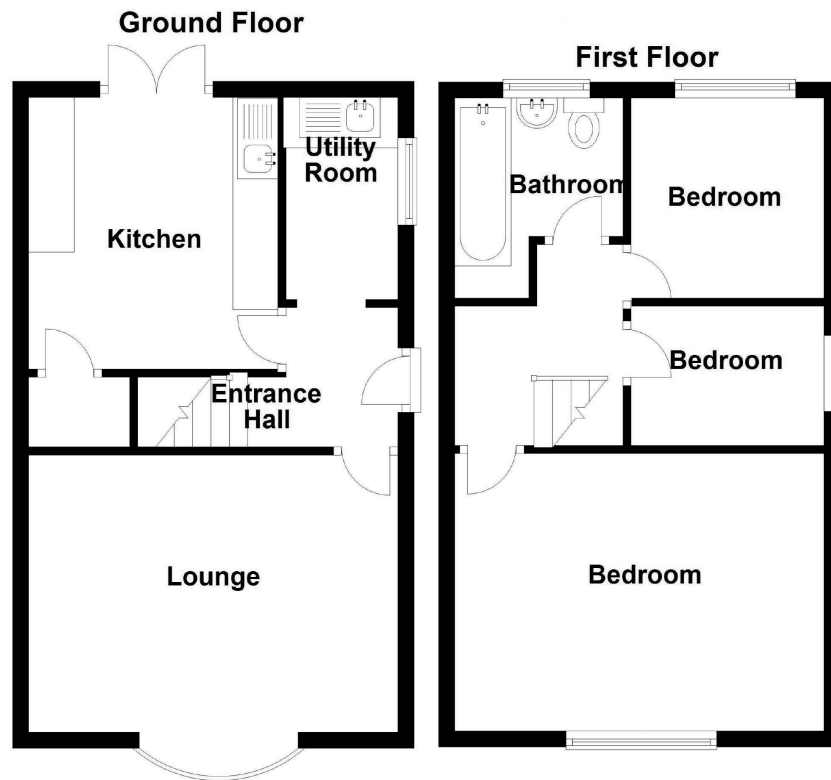
Bramleys offer a no obligation Mortgage Advisory Service for the benefit of both purchasers and vendors. In association with Bramleys Financial Consultants Ltd, Bill Keighley is able to search the mortgage market to identify a suitable tailor-made mortgage, best suited to your needs. For further details contact Bill Keighley on 01484 530361. Written quotations available on request. YOUR HOME IS AT RISK IF YOU DO NOT KEEP UP REPAYMENTS ON A MORTGAGE OR OTHER LOAN SECURED ON IT.

ON-LINE CONVEYANCING SERVICES:

Available through Bramleys in conjunction with leading local firms of solicitors. No sale no legal fee guarantee (except for the cost of searches on a purchase) and so much more efficient. Ask a member of staff for details.

DIRECTIONS:

Leave Huddersfield via Trinity Street, at Gledholt roundabout go straight ahead into Westbourne Road and continue to the Bay Horse roundabout. Take the first exit into Reinwood Road and continue to the crossroads, proceed straight ahead into Cliffe End Road and follow the road as it bears left, the property can be found after a short distance on the left hand side identified by a Bramleys for sale board.



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CONSUMER PROTECTION FROM UNFAIR TRADING REGULATIONS 2008

Bramleys, for themselves and for the Vendors or Lessors of this property, whose Agent they are, have made every effort to ensure the details given have been prepared in accordance with the above Act and to the best of our knowledge give a fair and reasonable representation of the property. Please note:

- There is a six inch measurement tolerance, or metric equivalent, and the measurements given should not be entirely relied upon and purchasers must take their own measurements if ordering carpets, curtains or other equipment.
- None of the mains services, i.e. gas, water, electricity, drainage or central heating system (if any) have been tested in any way whatsoever. This also includes appliances which are to be left insitu by the vendors.

PURCHASERS MUST SATISFY THEMSELVES AS TO THE CONDITION AND EFFECTIVENESS OF ANY SUCH APPLIANCES OR SERVICES. FLOOR PLANS NOT TO SCALE - FOR IDENTIFICATION PURPOSES ONLY

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